



Regulations for Driveways

General Guidelines

- **Driveway Required.** Driveways accessory to a residential structure are required to serve the private garage and must be paved with asphalt or concrete.
- **Gravel Driveways.** Existing gravel driveways established prior to the requirement to have a paved driveway in 1993 are permitted to remain but must be properly maintained and cannot be expanded. See the publication "Regulations for Gravel Driveways" for more information.
- **Driveway Dimensions.** Driveway dimensions vary depending on whether the property has an attached garage or a detached garage.
 - Driveways serving an attached garage may be no wider than 24 feet and may be tapered to a width in front of the garage as wide as the garage. Such driveways may also have an extension in the side yard on one side of the garage no wider than 12 feet.
 - Driveways serving a detached garage may be no wider than 12 feet in the front yard and 24 feet in the side or rear yards, and may be tapered to a width in front of the garage as wide as the garage. Such driveways may also have an extension in the side or rear yard on one side of the garage no wider than 12 feet.
 - Driveways shall extend no further back than the most distant point of the garage from the street.
- **Parking Pads.** Parking pads for parking and turnaround, no greater than 18 x 20 feet, are permitted in any rear or side yard adjacent to a permitted driveway. A driveway on an arterial street may have a parking pad in the front yard. No more than one parking pad is permitted on a lot, and at least 60% green space in the front yard and 50% green space in the combined side and rear yards must be maintained. Parking pads can be no closer than 5 feet to any property line.
- **Storing RVs.** Not more than two recreational vehicles may be parked or stored in a side or rear yard area, not closer than 5 feet to a side lot line and 10 feet to a rear lot line on a stable surface. A portion of a permitted driveway, in a side or rear yard meeting the setback requirements, may be used for RV storage.

Submitting for Permit

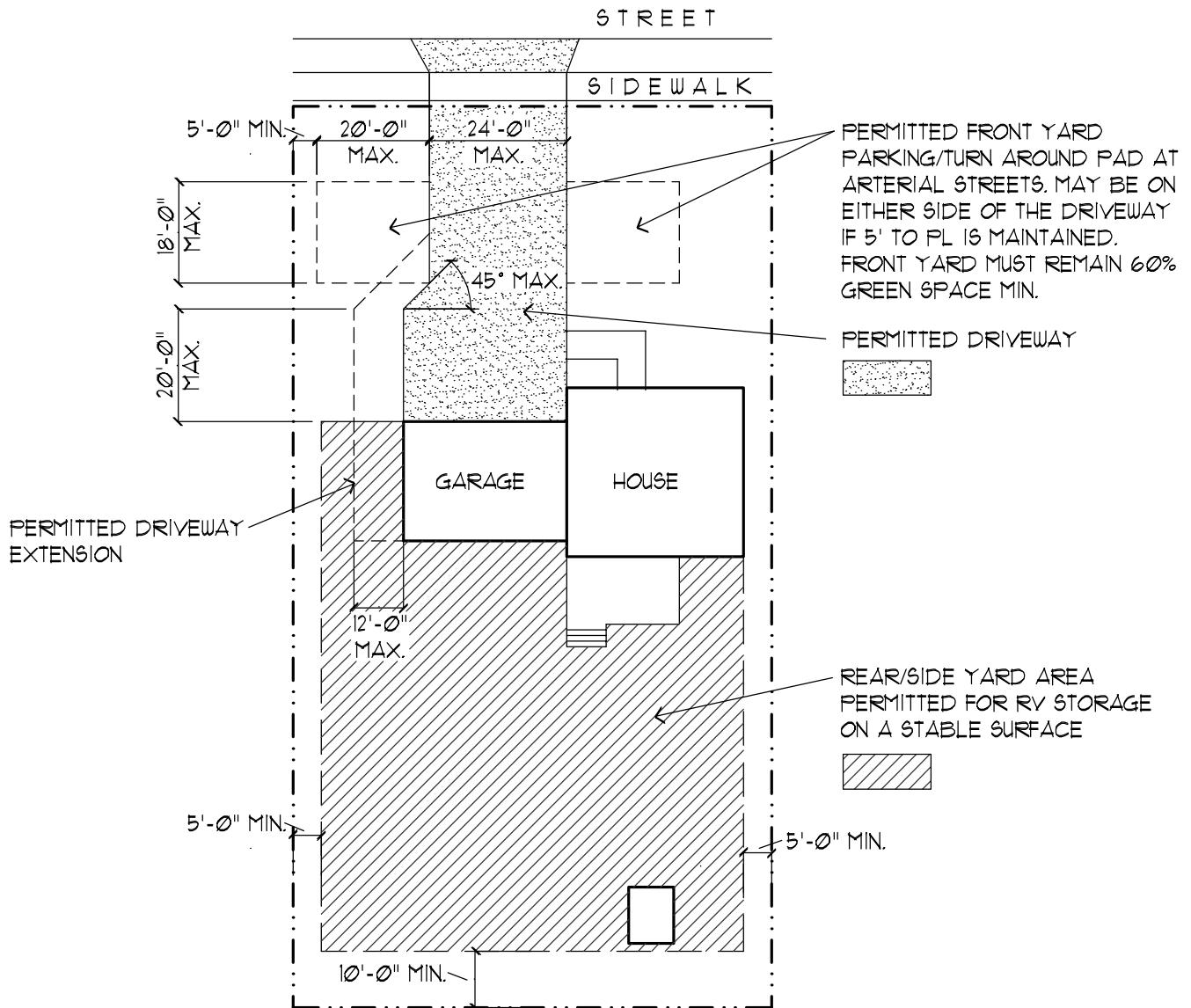
- An [application for permit](#) accompanied by an adequate site plan or documentation showing dimensions of the driveway must be submitted before a permit can be issued. If an applicant proposes a driveway that does not comply with city regulations, they can either amend their proposal to bring it into compliance or file an [application for variance](#) with the Building & Zoning Board of Appeals.
- When the driveway will be placed close to a property line, the applicant is responsible to show that the driveway will be kept within the limits of their own property and that any parking pad will be at the proper distance from a property line. This can be accomplished by doing one of the following to establish the property lines:
 - Submit a copy of a survey drawing indicating the location of property lines in the area of the proposed driveway.
 - Locate and mark the property corner pins placed by a surveyor so they are visible at the time of inspection.
 - Provide other documentation, such as from the Cuyahoga County GIS system.
- The application must be signed by an authorized party. An estimated, but *reasonable* cost must be provided to report to the County.
- If a contractor is doing the work, they must be registered with the City, and it is their responsibility to apply for and pick up the permit.
- Attached are graphic examples of the driveway regulations for attached and detached garages. Also attached is an example site plan that shows the type of information required and a recommended format. Most homeowners should have a survey available which is usually prepared at the time of the home purchase. If this is not available, a site plan can be located through [Cuyahoga County GIS](#).

Attachments

- Site Plan Example
- Graphic Examples of Driveway Regulations for Attached and Detached Garages
- Excerpt of Zoning Code Chapter 1135.02(B) regulating driveways in residential districts

DRIVEWAY REGULATIONS EXAMPLE

for an attached garage



SITE PLAN

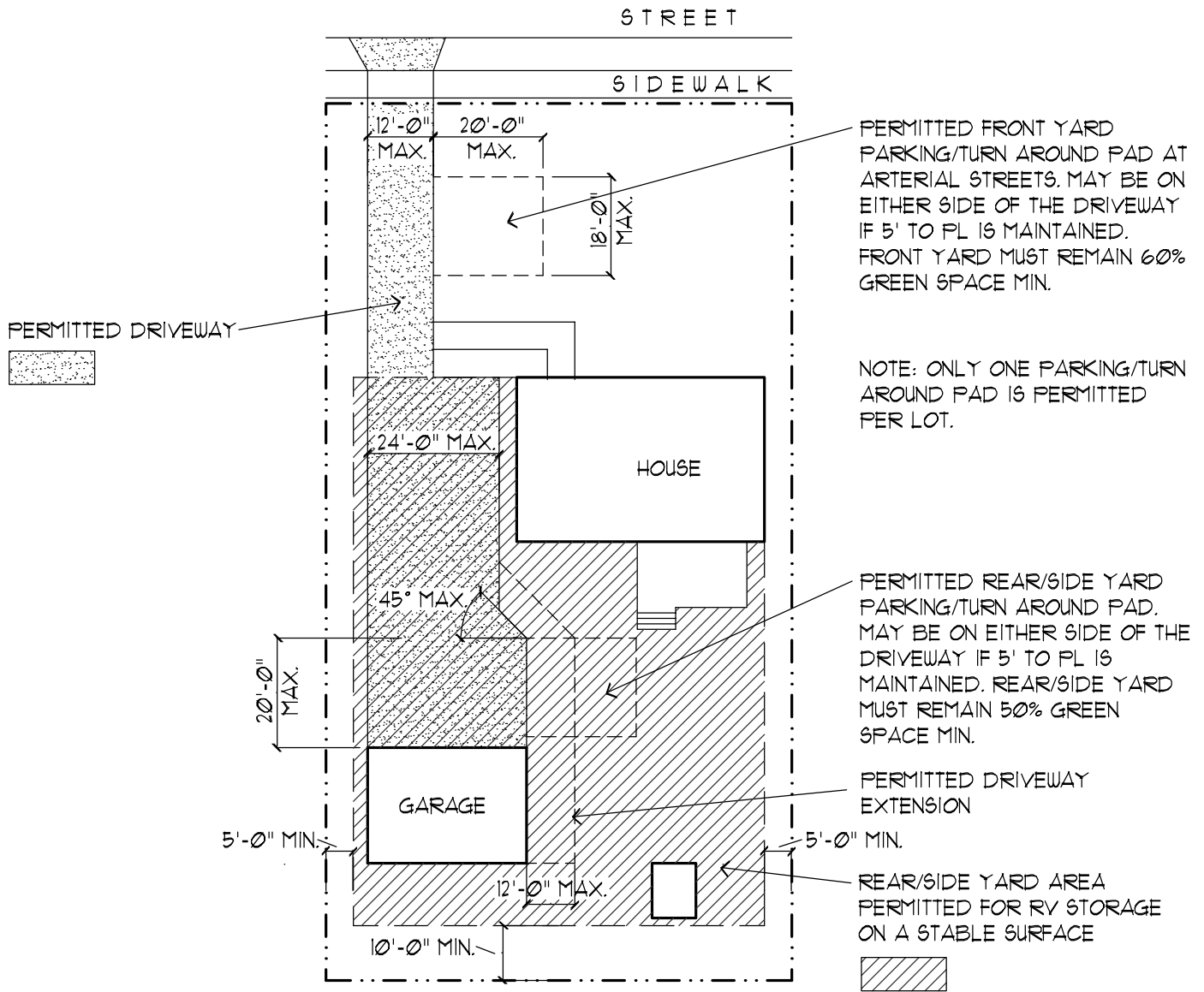
SCALE: 1"=30'

Checklist of items usually required when a driveway/sidewalk plan is submitted:

- Site plan to scale NLT 1"=30' showing:
 - All buildings.
 - Lot lines.
 - Dimensions of all pavement including distance to the lot line.
 - Easements, swales.
 - Pavement type(s) e.g. concrete or asphalt.
 - Adjacent street name(s).
- If a replacement in kind is proposed (pavement that is the same size and location as that being replaced) other information may be submitted such as a GIS plan or photograph defining and dimensioning the area to be replaced, along with documentation or confirmation that the replacement will not encroach on an adjacent property or violate City Ordinances for driveway location.

DRIVEWAY REGULATIONS EXAMPLE

for a detached garage



SITE PLAN

SCALE: 1"=30'

Checklist of items usually required when a driveway/sidewalk plan is submitted:

- Site plan to scale NLT 1"=30' showing:
 - All buildings.
 - Lot lines.
 - Dimensions of all pavement including distance to the lot line.
 - Easements, swales.
 - Pavement type(s) e.g. concrete or asphalt.
 - Adjacent street name(s).
- If a replacement in kind is proposed (pavement that is the same size and location as that being replaced) other information may be submitted such as a GIS plan or photograph defining and dimensioning the area to be replaced, along with documentation or confirmation that the replacement will not encroach on an adjacent property or violate City Ordinances for driveway location.

DRIVEWAY SITE PLAN EXAMPLE

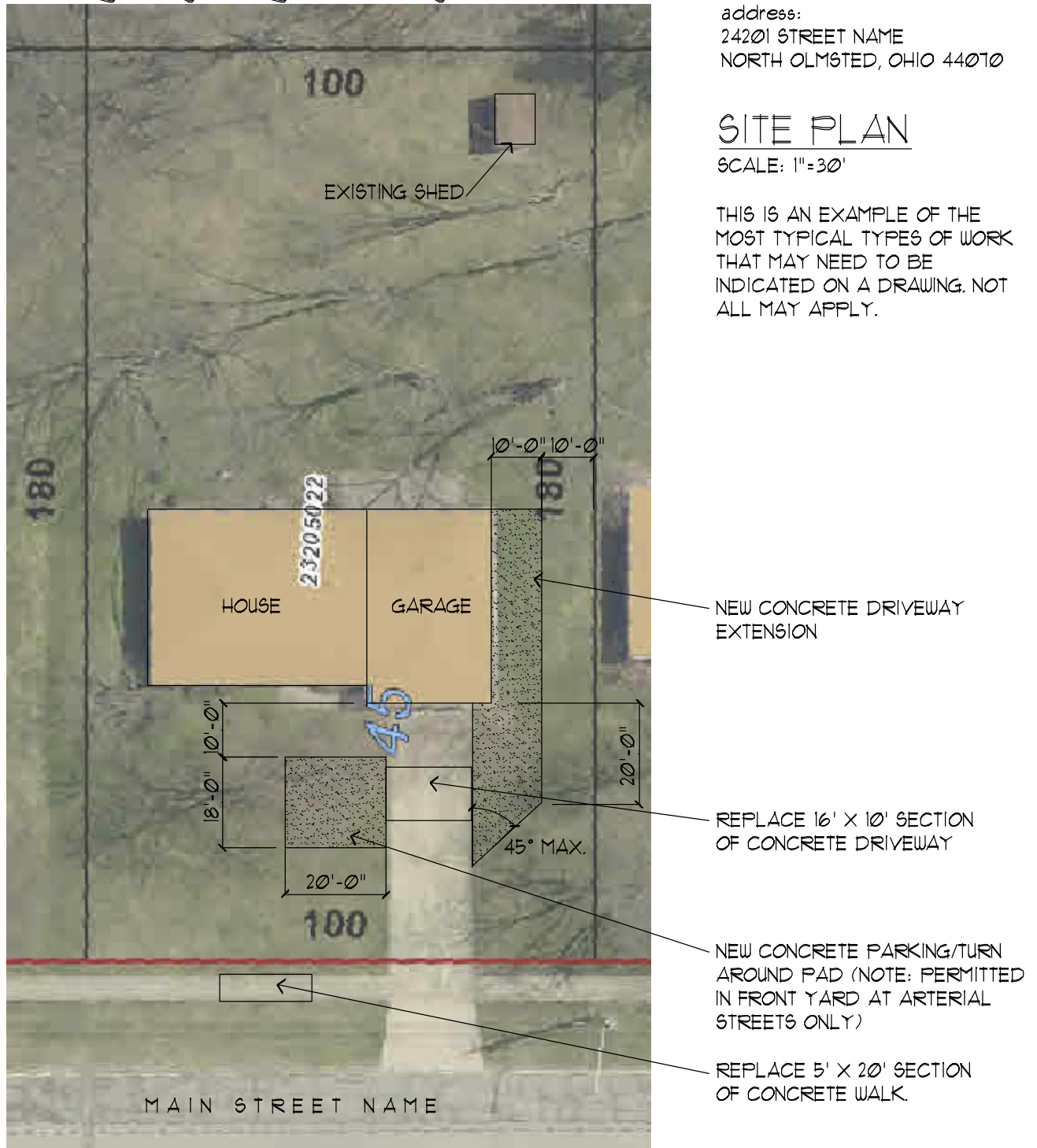
using Cuyahoga County GIS

address:
24201 STREET NAME
NORTH OLMSTED, OHIO 44070

SITE PLAN

SCALE: 1"=30'

THIS IS AN EXAMPLE OF THE MOST TYPICAL TYPES OF WORK THAT MAY NEED TO BE INDICATED ON A DRAWING. NOT ALL MAY APPLY.



Checklist of items usually required when a driveway/sidewalk plan is submitted:

- Site plan to scale NLT 1"=30' showing:
 - All buildings.
 - Lot lines.
 - Dimensions of all pavement including distance to the lot line.
 - Easements, swales.
 - Pavement type(s) e.g. concrete or asphalt.
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